

18.25.105 Permitted Land Uses													
Implementing Zoning - Downtown Zones, Permitted Uses & Development Conditions													
Key	P - Permitted	C - Conditional Use Permit Required	S - Special Use Permit Required	Development Conditions									
				1	2	3	4	5	6	7A	7B	8	9
SIC #	Development Conditions												
*	No new subdivision of land is permitted.												
*	1. Minimum project size in the DN-5 zone is the entire DN-5 zone. 2. Minimum lot size in the DN-10 zone is 8 acres.												
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*	Only as an accessory to residential use; and: a. Outdoor play areas shall be completely enclosed by a solid wall or fence, with no openings except for gates, and have a minimum height of six feet; and b. Outdoor play equipment shall maintain a minimum distance of 20 feet from property lines adjoining residential zones.												
*	a. Outdoor play areas shall be completely enclosed by a solid wall or fence, with no openings except for gates, and have a minimum height of six feet; and b. Outdoor play equipment shall maintain a minimum distance of 20 feet from property lines adjoining residential zones.												
7011	TEMPORARY LODGING												
*	Hotel/Motel												
*	PARK/RECREATION:												
79	Parks and Trails												
7996	AMUSEMENT/ENTERTAINMENT												
*	Amusement park												
	Outdoor performance center												
	Adult entertainment Business												
	Prohibited within 550 feet of any property zoned "R" or "DN-1" or "DN-5" or "DN-7B" or "DN-10" or containing schools, licensed day care centers, public parks or trails, community centers, public libraries or churches. In addition, no closer than 3,000 feet to any other adult entertainment business. These distances will be measured from the property line of the parcel(s) containing the proposed adult business to the property line of the parcels zoned "R" or that contain the uses identified in this subsection.												

SIC #	SPECIFIC LAND USE	DN 1	DN 2	DN 3	DN 4	DN 5	DN 6	DN 7A	DN 7B	DN 8	DN 9	DN 10	Development Conditions
84	CULTURAL:	P	P	P	P								
*	Conference Center	P	P										
	PERSONAL SERVICES:												
72	General personal service	P	P	P	P								
7216	Dry-cleaning plants			P									
7218	Industrial laundrers			P									
7261	Funeral home/crematory	P	P	P	P								
*	Monuments, tombstones, and gravestones		P	P	P								
74	Veterinary Clinic	P	P	P	P								a. No burning of refuse or dead animals is allowed. b. The portion of the building or structure in which animals are kept or treated shall be soundproofed. All run areas, excluding confinement areas for livestock, shall be surrounded by an eight foot high solid wall and surfaced with concrete or other impervious material; and c. Subject to animal keeping provisions of CMC 18.80
753/754	Automotive Repair/Service	P	P	P	P								a. Except SIC Industry No. 7534 - tire retreading, see manufacturing permitted use table. b. All material and equipment of any kind must be stored in a full, enclosed building.
86	MEMBERSHIP ORGANIZATIONS	P	P	P	P								
81/87	PROFESSIONAL AND LEGAL OFFICES	P	P	P	P	P1	P	P				P2	1. Minimum project size in the DN 5 zone is the entire DN-5 zone. 2. Minimum lot size in the DN 10 zone is 2 acres.
80	HEALTH SERVICES:	P	P	P	P								
82	EDUCATION SERVICES:	P	P	P	P								
91-97	GOVERNMENT SERVICES:	P	P	P	P								a. Utility yards only on site with utility district offices b. Public agency yards are limited to material storage for road maintenance facilities. c. All material and equipment must be stored in a fully enclosed building. d. All material and equipment must be stored in a fully enclosed building.
	BUSINESS SERVICES:												
15/16	Construction and trade			P									
41	Individual transportation and taxi			P									
42	Trucking and courier service			P									
*	Warehousing and wholesale trade			P									Except for self-service storage.
47	Transportation service			P									
482	Telegraph/other communication	P	P	P	P								All material and equipment must be stored in a fully enclosed building.

SIC #	SPECIFIC LAND USE	DN 1	DN 2	DN 3	DN 4	DN 5	DN 6	DN 7A	DN 7B	DN 8	DN 9	DN 10	Development Conditions
735	Miscellaneous equipment rental			P	P		P	P		P	P		All material and equipment must be stored in a fully enclosed building.
751	Automotive rental and leasing			P									
*	Commercial/Industrial accessory uses		P	P	P		P	P		P	P		Storage limited to accessory storage of commodities sold at retail on the premises or material used in the fabrication of commodities sold on premises.
52/53/54	Building, hardware/General merchandise/Food Stores (Retail)	P	P	P	P		P	P		P	P		All material and equipment must be stored in a fully enclosed building.
*	Forest/Agricultural product sales		P	P	P		P						All material and equipment must be stored in a fully enclosed building.
551	Motor vehicle and boat dealers		P1	P									Excluding retail sale of trucks exceeding one-ton capacity. 1. Allowed only north/west of SR18 in DN-2.
553	Auto supply stores	P	P	P	P		P	P		P	P		Limited to the sale of new or reconditioned automobile supplies.
554	Gasoline service station		P	P	P1		P	P		P2	P2		All material and equipment must be stored in a fully enclosed building. Limited to four pumps, eight price gauges to service no more than eight vehicles. 1 If ancillary to a large retail use limited to eight pumps, sixteen price gauges to serve no more than sixteen vehicles. 2. Allowed west of Jenkins Creek only.
56	Apparel and accessory stores	P	P	P	P		P	P		P	P		
58	Eating and drinking places	P	P	P	P		P	P		P	P		
*	Drug stores	P	P	P	P		P	P		P	P		Drive-through facilities shall comply with CMC 18.50.080
59	MISCELLANEOUS RETAIL	P	P	P	P		P	P		P	P		
	Large retail		P	P	P		P						See CMC 18.30.045 Table 1 for Maximum Building Footprint. No limit on the size of a single use or business.
	Mixed Use - Downtown	P				P1	P	P		P	P	P2	1. Minimum project size in the DN 5 zone is the entire DN-5 zone. 2. Any combination of the uses permitted in the DN-1 zone. Minimum lot size of 2 acres in the DN 10 zone.
	Mixed Use - Regional Commercial	P	P	P	P	P1	P						Any combination of uses permitted in the DN 4 zone. 1. Minimum project size in the DN 5 zone is the entire DN-5 zone.
*	Manufacturing			P									
*	Growing & harvesting forest product			P									
	Fish & wildlife mgt.			P									

SIC #	SPECIFIC LAND USE	DN	Development Conditions														
		1	2	3	4	5	6	7A	7B	8	9	10					
921	Hatchery/fish preserve			P													May be further subject to KCC Title 25 (adopted by Chapter 16.05 CMC), Shoreline Management
273	Aquaculture			P													May be further subject to KCC Title 25 (adopted by Chapter 16.05 CMC), Shoreline Management
*	Interim recycling facility			P													Limited to source-separated yard or organic waste processing facilities.
2951, 3271, 3273	Asphalt/concrete mixtures and block			P													
*	Jail		C	C	C	C	C	C	C	C	C	C					
*	Work release facility		C														
*	Public agency animal control facility		C														
*	Public agency training facility	C	C	C	C	C	C	C	C	C	C	C					Except weapons armories and outdoor shooting ranges
*	Non-hydroelectric generation facility	C	C	C	C	C	C	C	C	C	C	C					Limited to cogeneration facility for on-site use only.
*	Earth station	P	P	P	P	P	P	P	P	P	P	P					
*	Energy resource recovery facility	C	C	C	C	C	C	C	C	C	C	C					
*	Soil recycling facility			C													
*	Transfer station		C	C	C	C	C	C	C	C	C	C					
*	Wastewater treatment facility		C	C	C	C	C	C	C	C	C	C					
*	Municipal water production	C	C	C	C	C	C	C	C	C	C	C					
*	Fairground		C	C	C	C	C	C	C	C	C	C					
8422	Zoo/wildlife exhibit	C	C	C	C	C	C	C	C	C	C	C					
*	Secure community transition facility (SCTF)	C	C	C	C	C	C	C	C	C	C	C					Conditional use permit required subject to meeting requirements for siting SCTFs in compliance with Chapter 71.09 RCW and CMC 18.125.040.

GENERAL CROSS REFERENCES

Land Use table instructions, see CMC 18.50.020 and 18.10.060.
 Building Form, Site and Design Standards, see CMC 18.30.45
 Development standards, see Chapter 18.30 through 18.80 CMC.
 General provisions, see Chapters 18.85 through 18.100 CMC.
 Application and review procedures, see Chapters 18.105 through 18.125 CMC.
 (*) Definition of this specific land use, see Chapter 18.20 CMC.

18.30.045 Downtown Building Form and Site Design Standards

(1) PURPOSE AND INTENT

The purpose of these form and design regulations is to promote commercial and residential development that is pedestrian oriented and human in scale, breaks up the apparent mass of large structures, fosters a coherent visual environment, and creates a sense of place. Further purposes are to assure that permit applicants make appropriate improvements to the city-adopted roadway and intersection grid and continued development of a pedestrian network that provides safe and functional access within the downtown area and linked to surrounding neighborhoods and regional trails.

The intent of these regulations is to achieve development that is consistent with the principles described in the comprehensive plan, the Covington Design Manual, the Covington Design and Construction Standards and Specifications and the City's Vision Statement.

(2) TABLE of Building Form Regulations

Table 1

DOWNTOWN (DN) ZONES							
	1	2, 10*	3, 4, 5*, 6	7A	7B	8	9
STANDARDS							
Maximum number of floors	6	4	3	3	2	4	4
Maximum building height	90'	60'	45'	45'	30'	60'	60'
Maximum impervious surface percentage	95%	80%	85%	85%	50%	80%	80%
Maximum building foot print	77,000 sq. ft.	77,000 sq. ft.	177,000 sq. ft.	77,000 sq. ft.	5,000 sq. ft.	77,000 sq. ft.	130,000 sq. ft.
Minimum setback from street wall	0	0	0	0	20	0	0
Residential Density (stand alone)	36 du/a	No limit	24 du/a	12 du/a	8 du/a	36 du/a	36 du/a
Residential Density (if ground floor is retail use)	No limit	No limit	No limit	No limit	N/A	No limit	No limit

*These standards apply only to non-single family uses in DN 5 and DN 10 zones. Otherwise, see R-8 zone standards.

(3) DEFINITIONS

- a) **Articulate.** To give emphasis to or distinctly identify a particular building element. An articulated façade would be the emphasis of elements on the face of a wall

including a change in setback, materials, texture, color, roof pitch, or height.

- b) **Berm.** An earthen mound designed to provide visual interest on a site, screen undesirable views, reduce noise or provide a buffer from adjoining uses.
- c) **Building height.** The height of a structure measured from the average finished grade at a point 5 feet from the average building face to the finished roof surface; excluding parapets, equipment rooms, equipment enclosures, equipment penthouses, towers, window washing equipment, stairway penthouses and similar areas.
- d) **Buffer.** An area provided to reduce impacts between two different land uses. Buffers are intended to mitigate undesirable views, noises or glare. Buffers typically consist of plant materials, walls, fences, and/or significant land area to separate uses.
- e) **Development proposal site.** The legal boundaries of the parcel or parcels of land for which an applicant has or should have applied for authority from the City of Covington to carry out a development proposal.
- f) **Façade.** The portion of any exterior elevation of the building extending from grade to the top of the parapet, wall or eaves and extending the entire length of the building.
- g) **Gable roof.** A triangular wall section at the end of a pitched roof, bounded by the two roof slopes. *See Fig. 1.*
- h) **Hip roof.** A roof without gables. *See Fig. 1.*

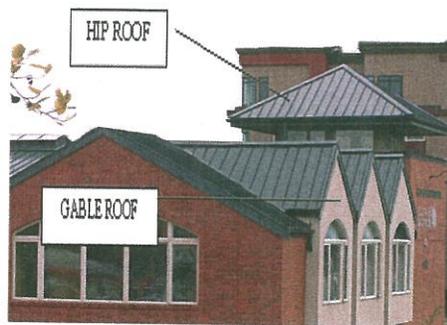


Fig. 1

- i) **Mass.** The physical volume or bulk of a solid body. Mass describes three-dimensional forms, the simplest of which are cubes, boxes (or "rectangular solids"), cylinders, pyramids and cones. During the design process, massing is one of many aspects of form considered by an architect or designer and can be the result of both exterior and interior design considerations. Architectural massing can be used to identify a building entry, denote a stairway or simply create visual depth to soften the visual mass of the overall structure.
- j) **Parapet.** The portion of a wall that extends above the roofline.
- k) **Pedestrian Walkway.** A surfaced walkway, separate from the traveled portion of a right-of-way or parking lot/driving aisle.

- l) **Primary pedestrian street.** Any public street except Covington Way, Wax Road, 180th Ave SE, SR 18, SR 516, and the portion of 168th Ave SE south of SR 516.
- m) **Public Street.** Any public or private road or access easement intended to provide public access to any lot/development, but excluding any service road or internal driving aisles (e.g., within parking lots).
- n) **Rhythm (Horizontal, Vertical).** The regular or harmonious recurrence of lines, shapes, forms, elements or colors, usually within a proportional system. *See Fig. 2.*

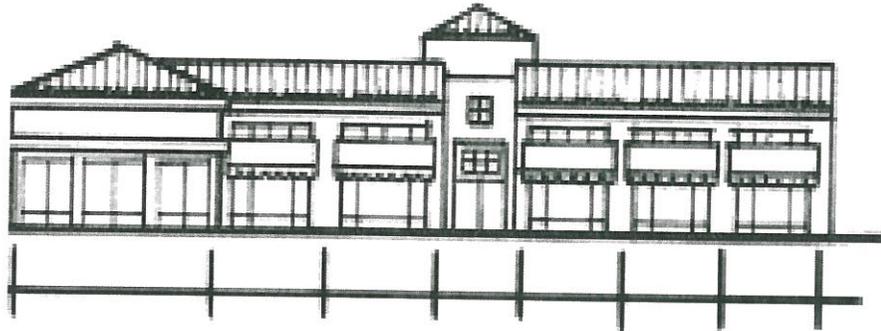


Fig. 2

- o) **Scale (Human).** The size or proportion of a building element or space relative to the structural or functional dimension of the human body.
- p) **Street Wall.** The frontage of a development proposal site that abuts a public street.

(4) GENERAL STANDARDS that apply in all Downtown zones

(a) Building Design Standards

1. **Blank walls.** No blank wall that faces a public street, public plaza or walkway shall exceed fifty (50) feet in length.
2. **Building exterior wall materials.** Exterior wall surfaces may be brick, masonry, painted concrete, wood, glass or painted metal, provided that metal facia may not exceed 10% of the area of any building façade. Corrugated or ribbed metal siding is not a permitted material for wall surfaces. Standing seam metal roofs are permitted.
3. **Building Setbacks.** Building setbacks shall be minimized in accordance with the standards set forth in Table 1 above. The fourth story, and any story above the fourth story, of any building shall be set back at a forty-five-degree angle measured at the intersection of the floor plane of the fourth story and the street wall. *See Fig. 3.*

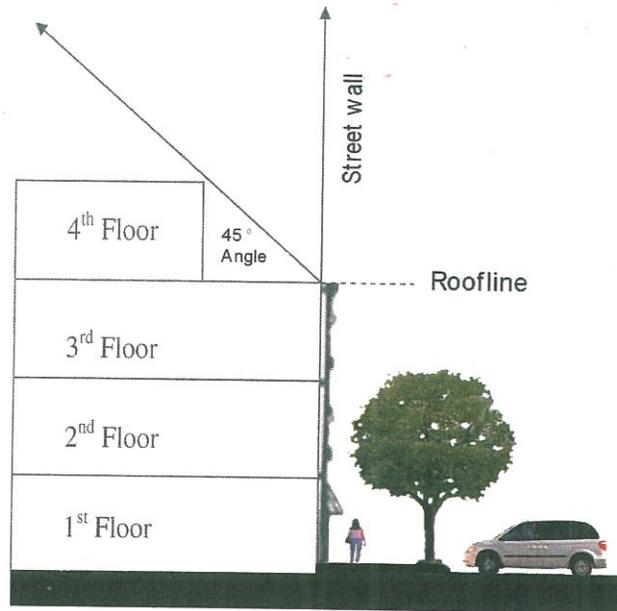


Fig. 3

4. **Doorways Facing Streets.** A new building or remodel shall provide doorways facing the street by which it is addressed, at grade level or slightly elevated.
5. **Facade Articulation.** Buildings shall be articulated with projections, recesses, covered doorways, balconies, covered box or bay windows and/or other similar features, dividing large facades into human-scaled proportions. Any façade over 100 feet in linear length which faces a public street shall incorporate wall projections or recesses at least 3 feet deep and with a minimum of 20 contiguous feet within each 100 feet of facade length, and shall extend over 20 percent of the face. *See Fig. 4.*

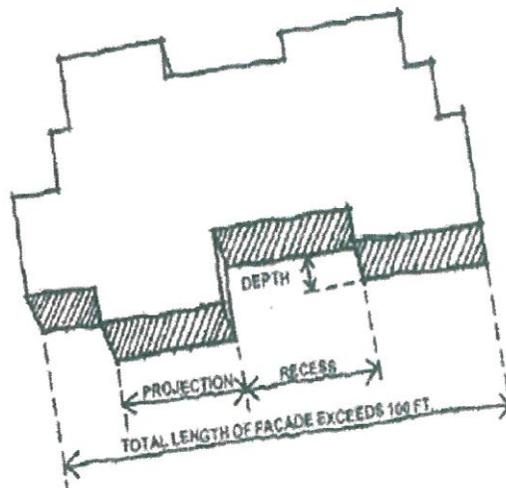


Fig. 4

6. **Front Yards.** Building design, in conjunction with site design, shall include structured elements to mark the transition from the public street to doorways.

Examples of such elements are porches, pediments, pergolas, low walls or fencing, railings, pedestrian light fixtures and hedges.

7. **Overhead pedestrian weather protection.** That façade of every building in which the building's primary exterior entrance is located shall include overhead pedestrian weather protection along at least 70% of the façade. Any marquee, awning, building projection or other permanent structural element that is at least six feet wide, as measured from the façade of the appurtenant building and which is at least ten feet above the finished grade of the pedestrian walkway adjacent to the building.



Fig. 5



Fig. 6



Fig. 7

8. **Relationship of Doorways to Streets.** If the street is a primary pedestrian street, then such doorways shall be principal entrances with sidewalk access to the street. Otherwise, such doorways may be secondary (e.g. for patio or deck access only).
9. **Rooflines.** Roofs shall demonstrate a commonsense recognition of the climate by utilizing appropriate pitch, drainage and materials. Rooflines shall be varied with a change in height every 100 linear feet in building length, and be used to denote building elements and functions such as entrances, arcades, and porches.
10. **Rooftop Mechanical.** All roof top mechanical shall be screened. Acceptable methods are: (a) a high parapet; (b) sloped roof form that is part of the architecture of the building; or (c) opaque screening surrounding individual rooftop appurtenances. In all cases, the screen shall be at least as high as the equipment being screened and provide adequate space to meet code requirements for operation and maintenance.
11. **Vertical differentiation.** Any building with more than two stories must be articulated with a distinct bottom, top, and middle. See Figure 8.

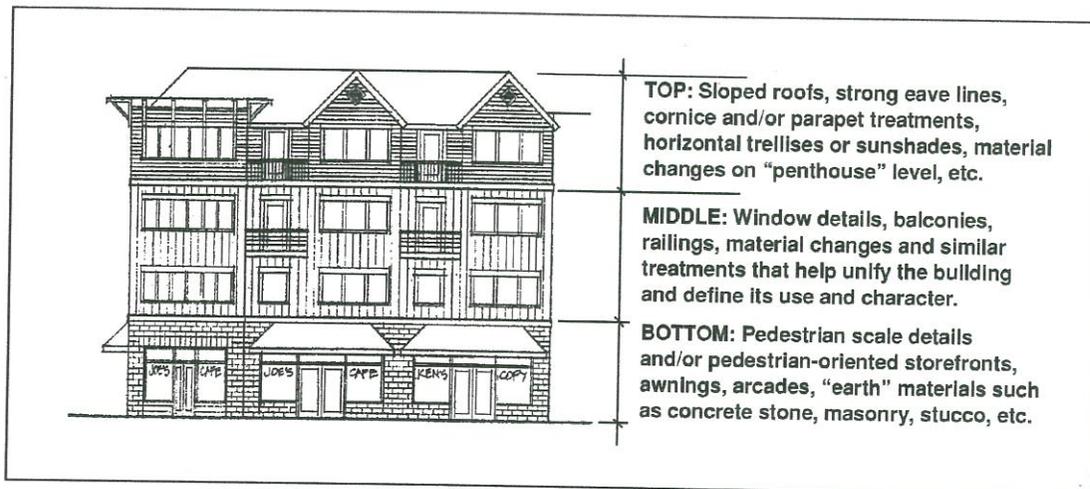


Fig. 8

(b) Site Design Standards

1. **Common Areas and Plazas.** On-site common areas equal to 10% of the gross floor areas shall be provided. Common areas shall include trash receptacles, casual seating, and other amenities that promote and attract pedestrian seating and activity. Amenities include public art, water features, colonnades, and pergolas.
2. **Lighting.** Maximum height of parking lot light standards is 30 feet. Placement and illumination shall be designed such that illumination is provided throughout the parking lot without emitting glare beyond the site. Bollard lighting or similar shall be provided along all primary pedestrian walkways.
3. **Internal Pedestrian linkages.** Continuous internal pedestrian walkways, at least 8 feet of clear width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. Landscaping shall be provided along at least one side of the walkway. Where such walkways cross vehicular driving surfaces, they shall be distinguished by the use of durable, low maintenance surface materials such as pavers, bricks, or scored and pigmented concrete to enhance pedestrian safety and comfort.

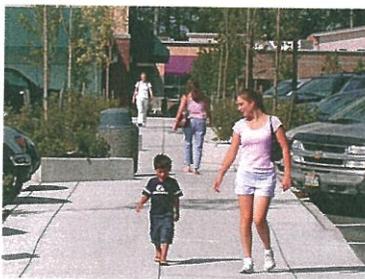


Fig. 9



Fig. 10



Fig. 11

4. **On-site parking requirements.** See CMC 18.30.050 for computation of off-street parking requirements. Parking lots featuring 200 spaces or greater shall provide a

covered walkway along the primary pedestrian walkway. Parking lots featuring 400 spaces or greater shall provide an additional single, overhead, covered, centrally located walkway between the largest building on the site and the public street..

5. **Parking lot landscaping.** All surface parking lots shall provide a perimeter landscaping strip abutting adjacent sidewalks containing a combination of trees, no fewer than 4 trees per 100 lineal feet of frontage, and shrubs. Masonry walls no lower than 15" and no higher than 30" may be substituted for shrubs. For lots greater than 20 stalls, at least 5% of the interior area shall be planted with trees and shrubs. Landscape islands equal to 100 square feet shall be provided at intervals no greater than 10 parking spaces. All trees shall have a minimum caliper of 2 ½" measured 48" above grade and a minimum height of 10 feet at the time of planting.
6. **Trash enclosures.** Any outdoor trash receptacles shall be enclosed within enclosures built to Covington Design Standards and become part of the site amenities.
7. **Sidewalks.** Concrete sidewalks at least 8 feet in width shall be provided along any sides of a lot that abut a public street.

(5) SPECIFIC STANDARDS that apply in Certain Zones

In addition to the General Standards identified in Section (4), the following specific standards also apply in the certain zones as noted below.



1. Purpose and Intent. The standards for this zone are designed to facilitate development of the most pedestrian-oriented and intense land use district in the city with a mix of retail, restaurant, residential and office uses. See Figs. 12 and 13 for illustrative examples. The land uses, public spaces, and physical form of development in this zone are intended to create a walkable, visually interesting, public heart of the community. Buildings up to six stories in height are appropriate. See Fig. 14 for illustrative example.

2. Building Design Standards.

- a. **Roof Forms.** In order to soften the visual mass of the overall structure, and promote visual coherence within the district, any building with larger than a 50,000 square foot footprint shall have either: 1) sloped roofs, or 2) combined flat and sloped roofs,

provided that the sloped portion(s) forms at least 50% of the building façade that faces the street providing primary access. Roof forms shall be related to the street facade, the integral structure and building entries.

- b. Façade modulation. In order to soften the visual mass of the overall structure, any building with a larger than 50,000 square foot footprint shall include architectural modulation along at least 25% of its two longest facades. To achieve modulation, building designs may include architectural shapes such as cubes, boxes (or "rectangular solids"), cylinders, pyramids and cones along the facades. These shapes may or may not create functional or habitable space (e.g., stairwells, clock towers, open decks, entry porticos).
- c. Any development proposal site that abuts 172nd Ave SE shall include at least one structure built to the street wall of 172nd Ave SE, and along façades facing that primary pedestrian street shall be articulated with windows, doorways, and overhead pedestrian weather protection.

3. Site Design Standards. New drive-through facilities are prohibited.

(b) DN 2 Zone¹



Fig. 15



Fig. 16



Fig. 17

1. **Purpose and Intent.** The standards for this zone are designed to facilitate the continued development of a mix of retail, office, restaurant, and residential uses between the more intense core area and the residential neighborhoods to the north. *See* Figs. 15 and 16 for illustrative examples. Buildings up to four stories in height are appropriate. *See* Fig. 17 for illustrative example of two stories of residential over a retail ground floor.
2. **Building Design Standards.** Façades facing primary pedestrian streets shall be articulated with windows, doorways, and overhead pedestrian weather protection.
3. **Site Design Standards**
 - a. Perimeter buffers and landscaping. Where the façade of a building or delivery drive is within 100' of any R zone, an earthen berm shall be installed, no less than 6 feet in height and 25 feet in depth, for the full frontage of the joint property lines abutting the R zone. Such buffer shall contain, at a minimum, Type I (full screen) landscaping and further feature two offset rows of Douglas Fir trees, at least 15 feet tall at the time of planting and planted at intervals of 15

¹ Also applies in DN 10 zone for all uses except single family.

feet on center, and a six foot high sight-obscuring and sound deflecting staggered or meandering fence or wall placed on the crown of the earthen berm.

- b. A through-pedestrian connection to abutting R zoned neighborhoods shall be installed where an existing un-opened public right-of-way exists or can reasonably be provided by means of a public pedestrian access easement.

(c) DN 3, 4, and 6 Zones²



Fig. 18



Fig. 19



Fig. 20

1. Purpose and Intent. The standards for these zones are designed to facilitate and shape development consisting primarily of a mix of freeway-oriented, industrial, and large scale retail structures and associated parking fields and to coordinate the installation of key new segments of the street network. Buildings up to three stories in height are appropriate. *See* Figs. 18 and 19 for illustrative examples.

2. Building Design Standards.

- a. Roof forms for large structures. In order to soften the visual mass of the overall structure, and promote visual coherence within the district, any building with larger than a 50,000 square foot footprint shall have either: 1) sloped roofs, or 2) combined flat and sloped roofs, provided that the sloped portion(s) forms at least 50% of the building façade that faces the street providing primary access.
- b. Façade modulation. In order to soften the visual mass of the overall structure, any building with a larger than 50,000 square foot footprint shall include architectural modulation along at least 25% of its two longest facades. To achieve modulation, building designs may include architectural shapes such as cubes, boxes (or "rectangular solids"), cylinders, pyramids and cones along the facades. These shapes may or may not create functional or habitable space (e.g., stairwells, clock towers, open decks, entry porticos.) *See* Figs. 19 and 20 for illustrative examples.
- c. Ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings or other such features along no less than 60% of their horizontal length.
- d. Any development proposal site within the DN 6 zone which lies north of SE 276th Street shall include at least one structure built to the street wall of 172nd Ave SE, and along that structure's eastern façade shall include windows, doorways, and overhead pedestrian weather protection.
- e. No delivery, loading, trash removal or compaction, or other such operations,

² Also applies in DN 5 zone for all uses except single family.

shall be permitted between the hours of 10:00 P.M. and 7:00 A.M.

- f. Any building openings and rooftop equipment within 200 feet of DN 5 shall be enclosed within sound baffles or barriers that acoustically attenuate noise emissions to a level of 45-dB, as measured at the lot line abutting DN 5.
- g. Non-habitable spaces for industrial uses above the 45' height limit are permitted provided that they are processed as a conditional use permit and do not interfere with general aviation and are not higher than necessary to meet their intended purpose.

3. Site Design Standards.

- a. Perimeter buffers and landscaping. Where the façade of a building or delivery drive is within 100' of the DN 5 zone, an earthen berm shall be installed, no less than 10 feet in height and 50 feet in depth, for the full frontage of the joint property lines abutting the DN 5 zone. Such buffer shall contain, at a minimum, three offset rows of Douglas Fir trees, at least 15' tall at time of planting, and planted at intervals of 15 feet on center. *See Fig. 21.*

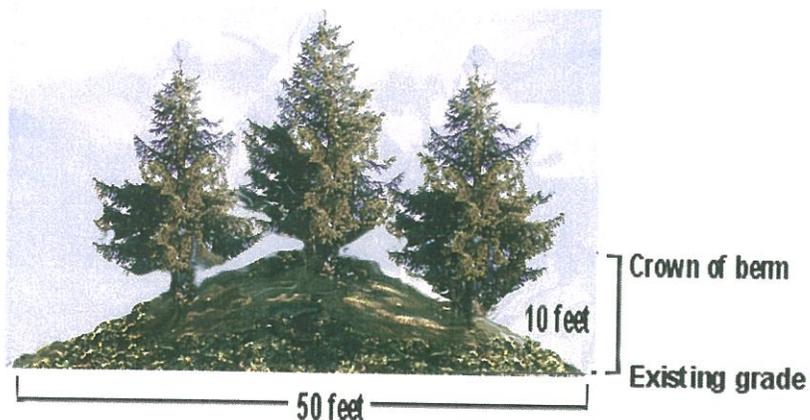


Fig. 21

- b. Parking Lots. No more than 60% of the off-street parking area for a development proposal site shall be located between the front building façade within the front yard of the principal building(s) and the primary abutting streets unless the principal building(s) and/or parking lots are screened from view by perimeter on-site development (such as restaurants) and additional tree plantings and/or berms.
- c. Noise attenuation. Any loading, trash compactor or service areas within 200 feet of DN 5 shall be enclosed within sound walls or barriers that acoustically attenuate noise emissions to a level of 45-dB, as measured at the lot line abutting DN 5.
- d. In the DN 3 and DN 4 zones, consistent with C.I.P. project #1085, widening of Covington Way, frontage public right of way shall be dedicated and improvements made to city specifications.

- e. In the DN 4 and DN 6 zones, consistent with C.I.P. project #1082, creation of 168th Ave SE connector, frontage public right-of-way shall be dedicated and improvements made to city specifications.
- f. In the DN 6 zone, consistent with C.I.P. project #1083S, creation of SE 276th St. connector, an 82' public right-of-way shall be dedicated and improvements made to city specifications. This new road network is not intended to be connected to the existing road network in the DN-5 Zone for use as a public access while the DN-5 Zone remains in single family residential use unless the existing access to the DN-5 Zone off of Covington Way is closed to the public and gated for emergency services access only to prevent cut through traffic from the commercial areas to the north of DN-5 to Covington Way on the south and vice versa. The new road network may be connected to the DN-5 Zone as a gated emergency services access only even if the current public access to the DN-5 Zone at Covington Way remains unchanged.



1. **Purpose and Intent.** The standards for this zone are designed to facilitate development with a wide range of uses and moderate scale building forms while also recognizing the natural amenity and environmental constraint represented by Jenkins Creek and associated wetlands. Buildings up to three stories in height are appropriate. *See* figs. 22, 23 and 24 for illustrative examples.

2. **Building Design Standards.**

- a. The maximum horizontal dimension of new structures shall be parallel to, not perpendicular to, Wax Road.
- b. Building facades within 150 feet of the edge of Jenkins Creek or its associated wetlands shall include windows oriented to the Jenkins Creek Community Trail.

3. **Site Design Standards.**

- a. Consistent with C.I.P. project #1085, Wax Road widening, 40' of additional public right-of-way shall be dedicated adjacent to and along the entire Wax Road frontage.
- b. Consistent with C.I.P. project #1087, Jenkins Creek Community Trail, a 20' wide public pedestrian easement shall be dedicated within the required building setback from Jenkins Creek. The design of the walkway shall meet city design specifications, and connect with existing or prospective segments of the Jenkins

Creek Community Trail on abutting properties.

- c. In addition to the design departures authorized at 18.30.045(6), any property in the DN 7A zone is eligible for a “reasonable use exception” authorized by 18.65.070(1)(c). For purposes of that section, the minimum “reasonable use” for properties in the DN 7A zone is a retail or office building. The size of the footprint and site location of said minimum reasonable use will be a function of the criteria set forth at 18.65.070(1)(c).
- d. New drive-through facilities are prohibited.

(e) DN 7B Zone



Fig. 25



Fig. 26



Fig. 27

1. Purpose and Intent. The standards for this zone are designed to promote small scale residential (*see* Fig. 25 for an illustrative example of a townhouse configuration and Fig. 26 for an illustrative example of a cottage configuration) and office uses (*see* Fig. 27 for an illustrative example of a house re-used as an office) that complement the more intense uses in adjacent commercial zones while also recognizing the natural amenity and environmental constraint represented by Jenkins Creek and associated wetlands. Buildings up to two stories in height are appropriate.

2. Building Design Standards.

- a. Existing single-family structures may be adapted to office uses, subject to parking, signage, landscaping and other standards for such uses.
- b. New residential structures arranged as freestanding cottages shall not exceed an individual foot print of 1,500 square feet and shall not exceed a density of 12 units per acre. Cottages may be arranged in a clustered configuration with minimal interior setbacks between structures.
- c. New residential structures arranged as common wall townhouses shall not exceed a building footprint of 4,500 square feet and a density of 8 units per acre.

3. Site Design Standards.

- a. For lands south of SE 272nd Street, consistent with C.I.P. project #1085, Wax Road widening, an additional 40’ of public right-of-way shall be dedicated adjacent to and along the entire Wax Road frontage.
- b. Consistent with C.I.P. project #1087, Jenkins Creek Community Trail, a 20’ wide public pedestrian easement shall be dedicated within the required building setback from Jenkins Creek. The design of the walkway shall meet city design specifications, and connect with existing or prospective segments of the Jenkins

Creek Community Trail on abutting properties.

- c. In addition to the design departures authorized at 18.30.045(6), any property in the DN 7A zone is eligible for a “reasonable use exception” authorized by 18.65.070(1)(c). For purposes of that section, the minimum “reasonable use” for properties in the DN 7B zone is a residential use at 8 units to the acre. The size of the footprint and location of said minimum reasonable use will be a function of the criteria set forth at 18.65.070(1)(c).

(f) DN 8 and 9 Zones



Fig. 28



Fig. 29



Fig. 30

1. Purpose and Intent. The standards for this zone are designed to facilitate the development of master-planned sites with a wide variety of uses and building forms and sizes (*see* Figs. 28, 29 and 30 for illustrative examples) as well as the installation of key new segments of the street network and community trail network. Buildings up to four stories in height are appropriate.

2. Building Design Standards.

- a. **Roof Forms for large buildings.** In order to soften the visual mass of the overall structure, and promote visual coherence within the district, any building with larger than a 50,000 square foot footprint shall have either: 1) sloped roofs, or 2) combined flat and sloped roofs, provided that the sloped portion(s) forms at least 50% of the building façade that faces the street providing primary access. *See* Fig. 29 for illustrative example.
- b. **Façade modulation.** In order to soften the visual mass of the overall structure, any building with a larger than 50,000 square foot footprint shall include architectural modulation along at least 25% of its two longest facades. To achieve modulation, building designs may include architectural shapes such as cubes, boxes (or "rectangular solids"), cylinders (*See* Figs. 28 and 30 for illustrative example), pyramids and cones along the facades. These shapes may or may not create functional or habitable space (e.g., stairwells, clock towers, open decks, entry porticos.)
- c. Building facades within 150 feet of the edge of Jenkins Creek or its associated wetlands shall include windows oriented to the Jenkins Creek Community Trail.
- d. Building facades within 150' of SE 272nd Street shall have window and door openings on those facades.

3. Site Design Standards.

- a. In the DN 9 zone, consistent with C.I.P. project #1124, an 82' wide public right-of-way shall be dedicated to connect SR 516 to the intersection of Wax Road/SE 267th Place. The roadway and intersection alignment, dimensions and other details of the improvements to be installed shall meet City specifications.
- b. In the DN 9 zone, any development proposal site which abuts the new right-of-way installed pursuant to the preceding subsection, shall take primary vehicular access from that right-of-way and not from SR 516 or Wax Road.
- c. For any development proposal site through which Jenkins Creek flows, in both the DN 9 and DN 10 zones, consistent with C.I.P. project #1087, the Jenkins Creek Community Trail, a 20' wide public pedestrian easement shall be dedicated within the required building setback from Jenkins Creek. The design of the walkway shall meet city design specifications, and connect with existing or prospective segments of the Jenkins Creek Community Trail on abutting properties.
- d. For any development proposal site through which Jenkins Creek flows, in both the DN 9 and DN 10 zones, internal pedestrian walkways shall connect to the Jenkins Creek Community Trail.
- e. Any development on property adjacent to SE 272nd Street shall install along its frontage half street improvements for a five lane limited access roadway, with medians, turning lanes, drainage, landscaping, sidewalks and street illumination.

(6) DESIGN DEPARTURES

- a. A permit applicant wishing to modify any of the standards of 18.30.045 may apply for a design departure pursuant to a Type 2 land use decision and subject to the following criteria:
 - i. The proposed modification meets the design objectives as stated in the standard equally well or better than would compliance with the standard, and:
 - ii. In evaluating whether a proposed modification is a superior solution to the prescribed standard, the City may consider the principles set forth in the City of Covington Design Manual.
- b. A permit applicant wishing to waive any of the standards in 18.30.045 due to a hardship created by the unique physical circumstances and not a financial hardship relating to the specific property may apply for a variance pursuant to a Type 3 land use decision and subject to the criteria of 18.25.030.

Fig. 1

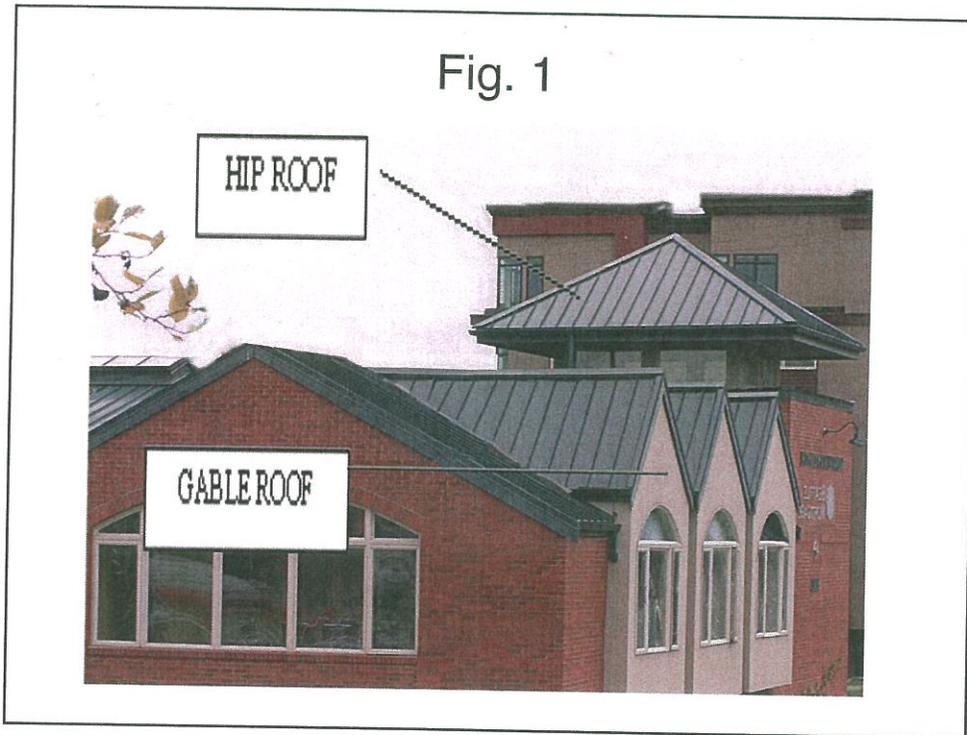


Fig. 2

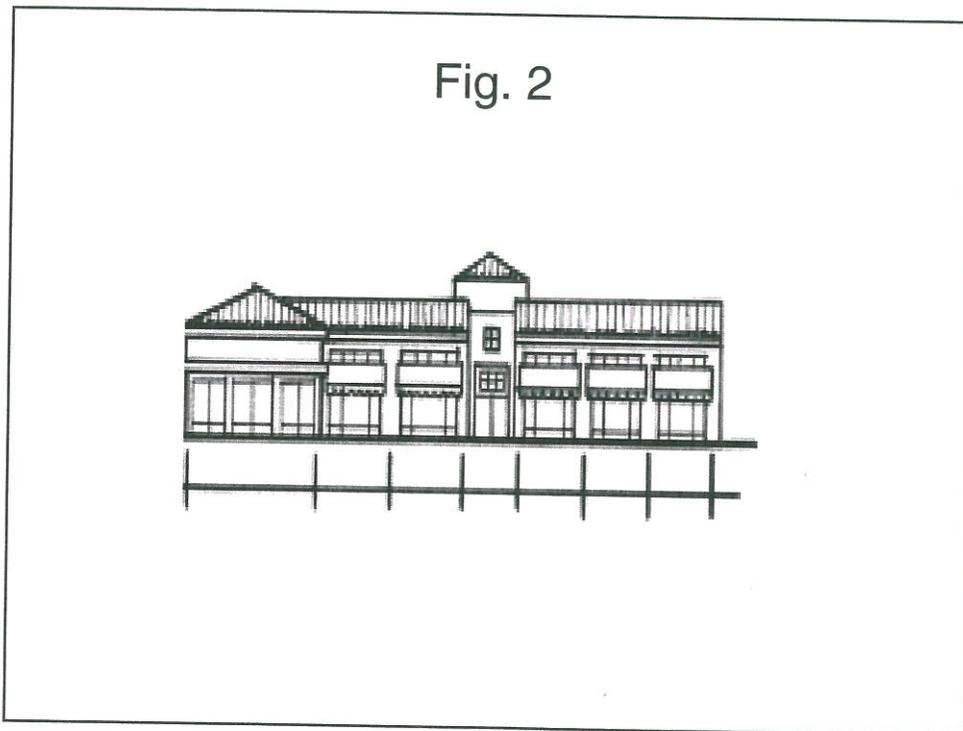


Fig. 3

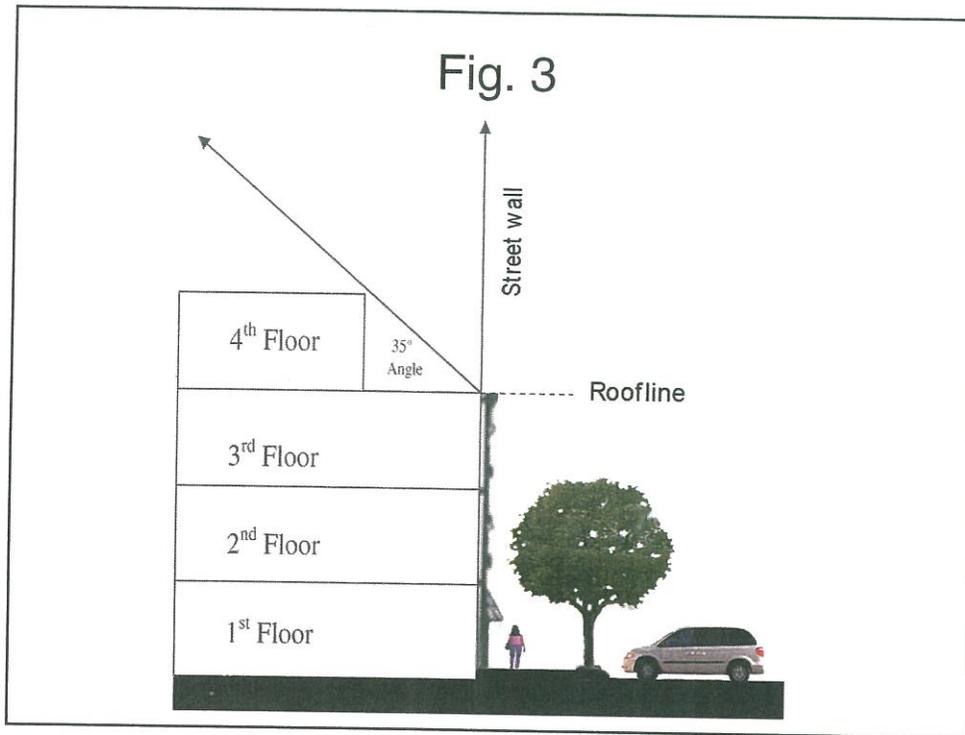


Fig. 4

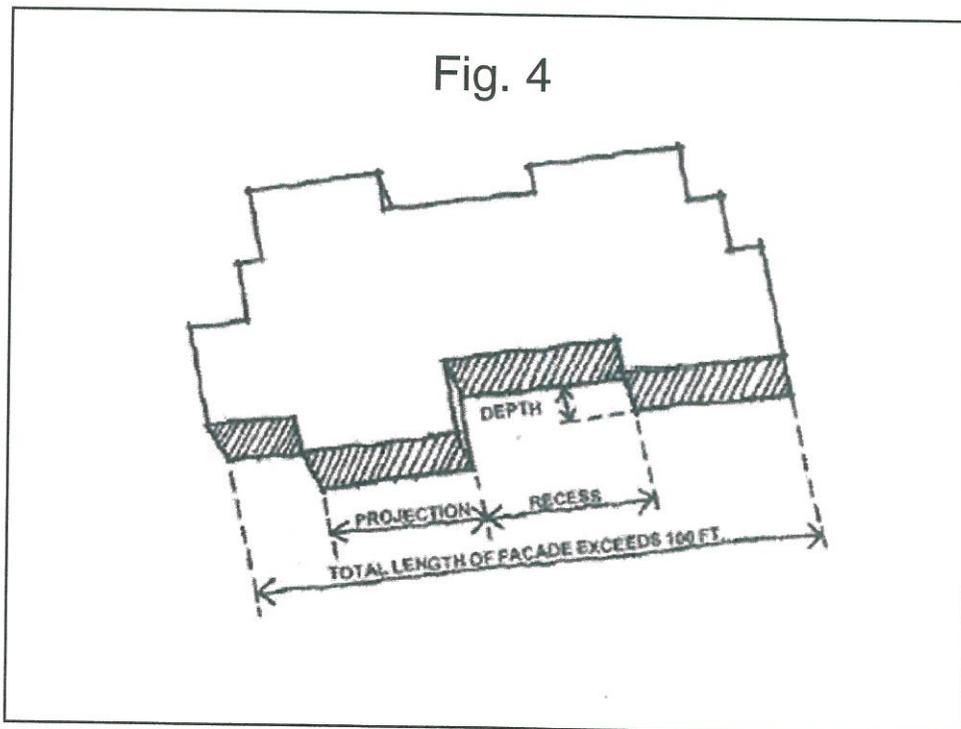


Fig. 5



Fig. 6



Fig. 7



Fig. 8



TOP: Sloped roofs, strong eave lines, cornice and/or parapet treatments, horizontal trellises or sunshades, material changes on "penthouse" level, etc.

MIDDLE: Window details, balconies, railings, material changes and similar treatments that help unify the building and define its use and character.

BOTTOM: Pedestrian scale details and/or pedestrian-oriented storefronts, awnings, arcades, "earth" materials such as concrete stone, masonry, stucco, etc.

Fig. 9

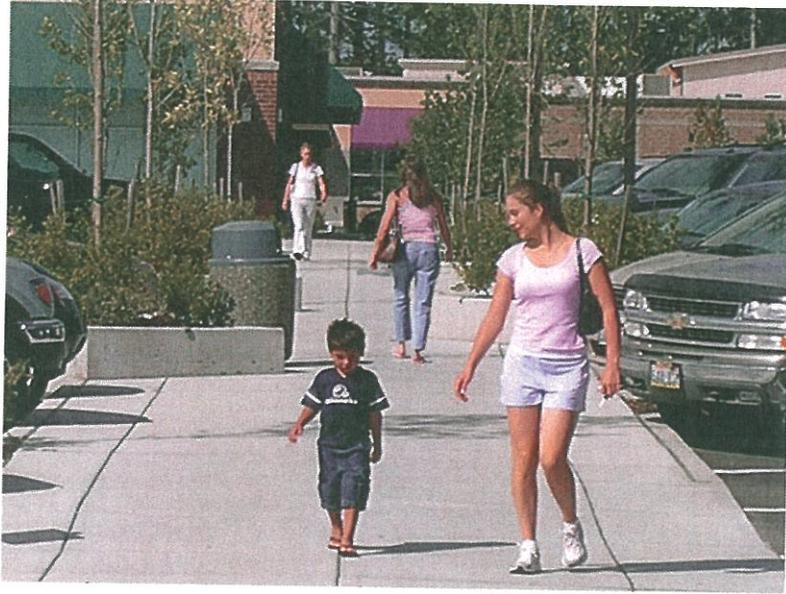


Fig. 10



Fig. 11



Fig. 12



Fig. 13



Fig. 14



Fig. 15

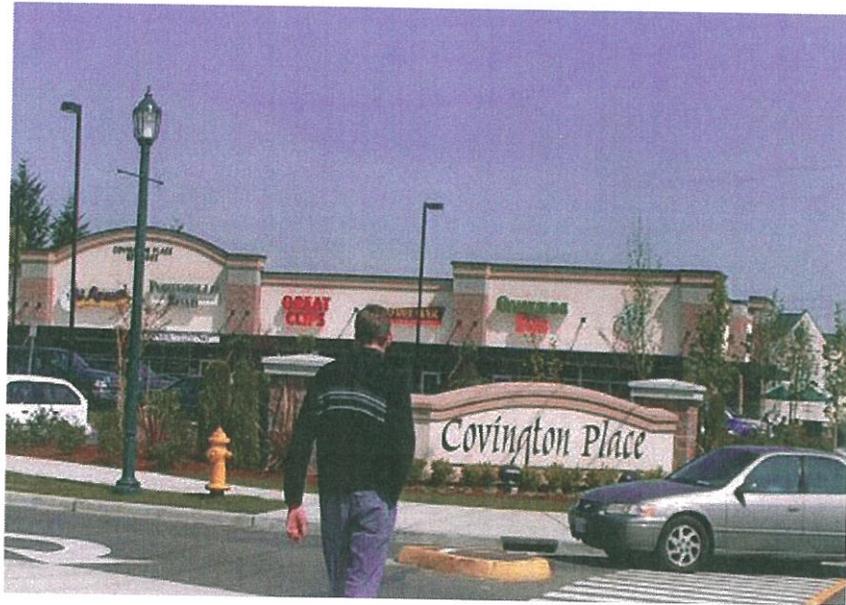


Fig. 16



Fig. 17



Fig. 18



Fig. 19

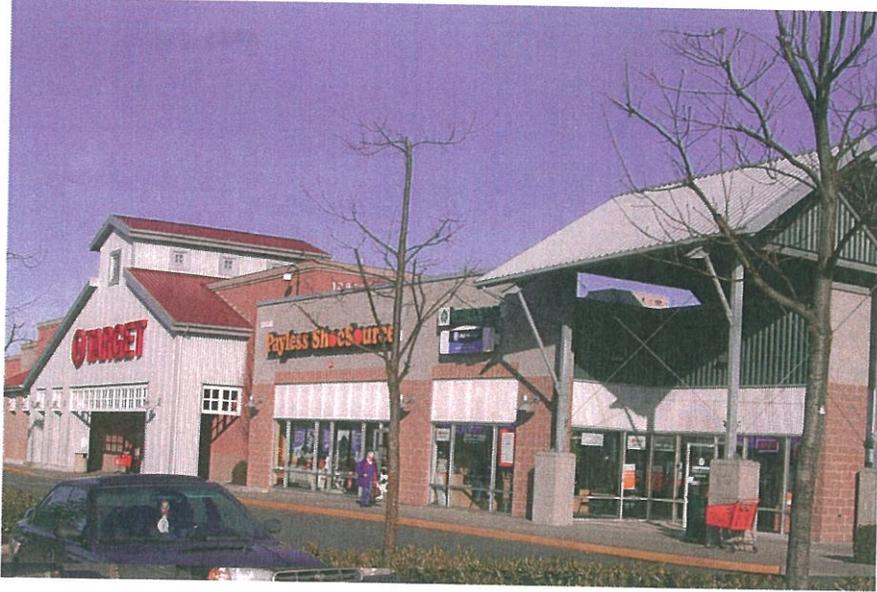


Fig. 20



Fig. 21

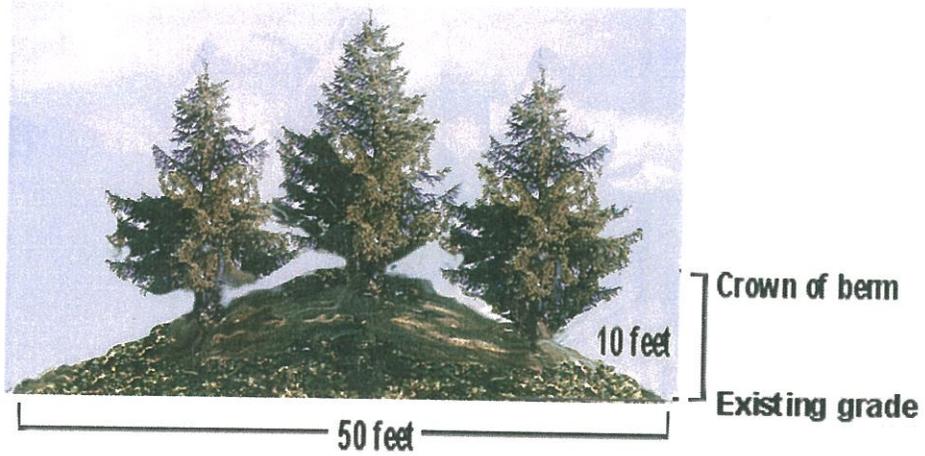


Fig. 22

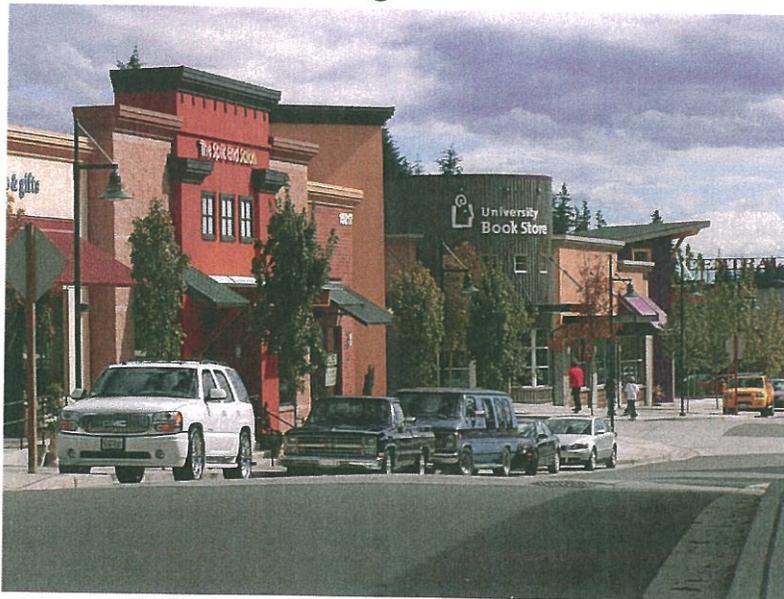


Fig. 23



Fig. 24



Fig. 25



Fig. 26



Fig. 27



Fig. 28



Fig. 29



Fig. 30

